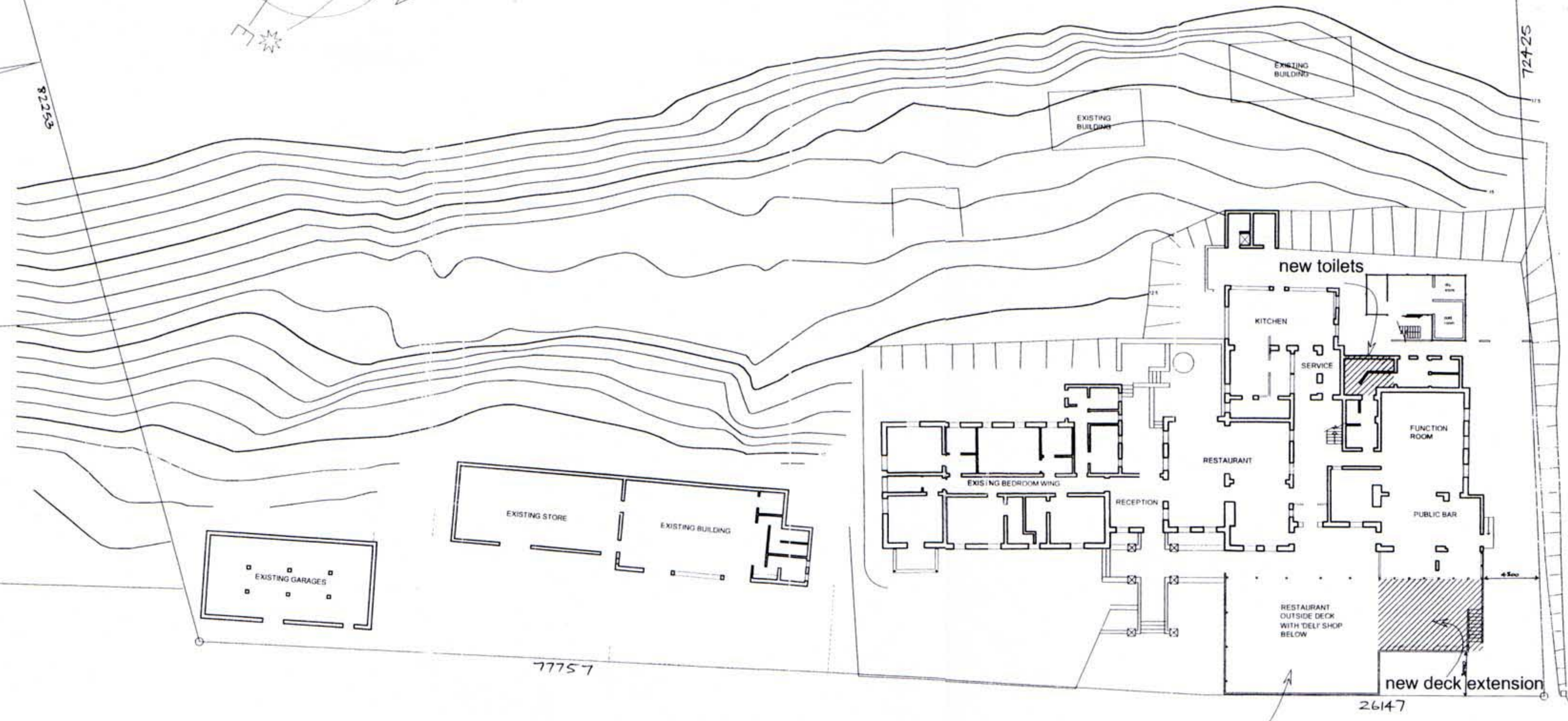
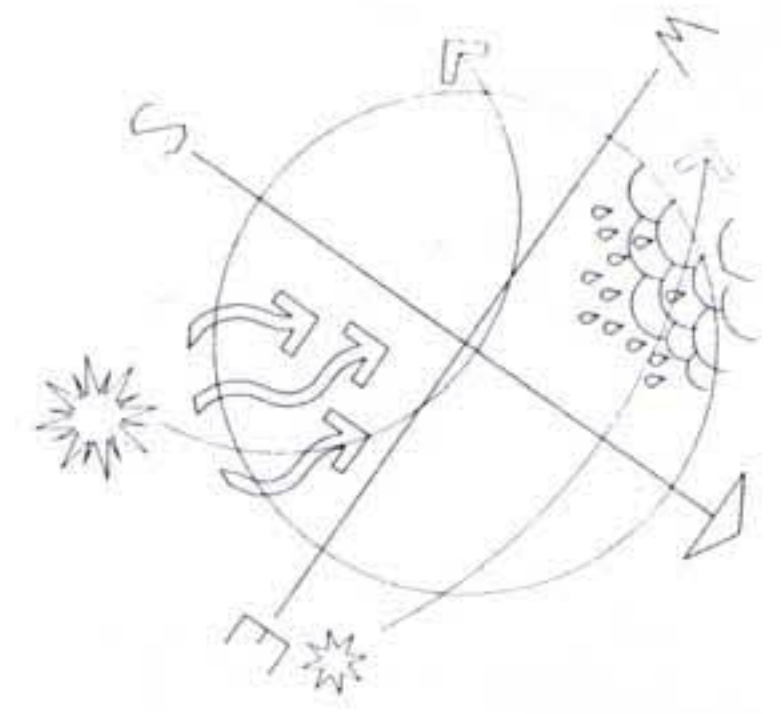
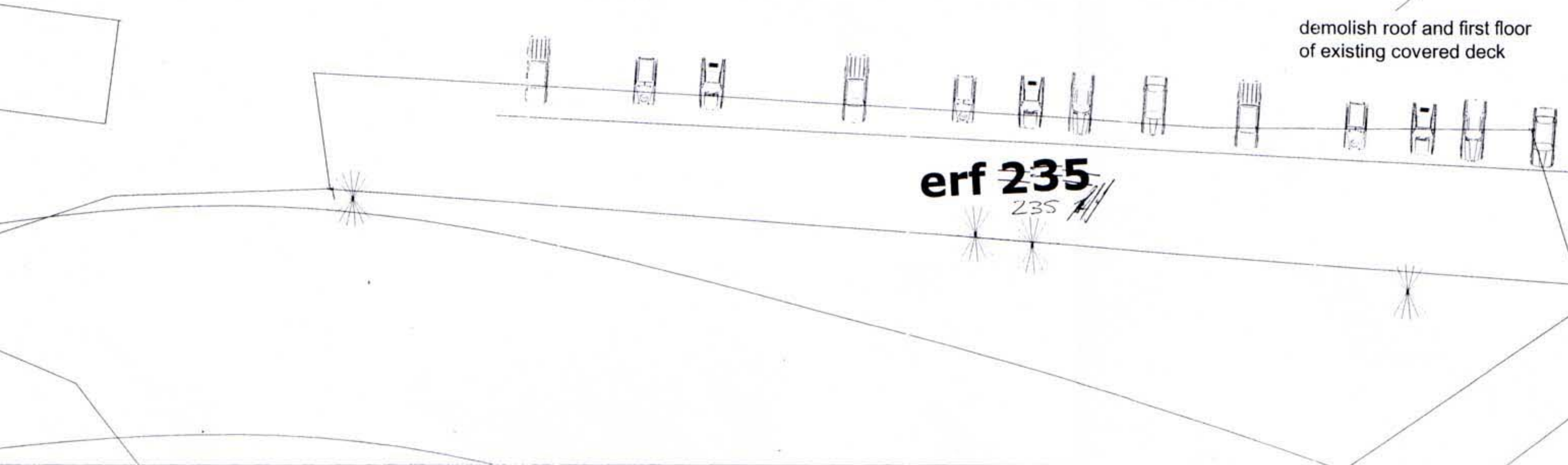


erf 2454



demolish roof and first floor of existing covered deck

erf 235
235



GARDRUM STEPS

72425

26147

77757

82253

SPECIFICATION

- GENERAL**
All work to comply with SABS 0400
- FOUNDATIONS**
Concrete strip footings min. 650mm x 230mm min. 400mm be ow NGL
Deli extension footings min. 950mm x 230mm min. 400mm below NGL
- FLOOR**
Existing slabs to be broken up and excavated to clean, well compacted fill
15MPa concrete min. 100mm thick on 250 micron DPC on well compacted sand blinding layer
- WALLS**
Walls to be 230mm clay brickwork keyed into existing with brickforce every 10th course
Brickwork to Deli basement walls to be clad with 200mm sandstone blocks with raised pointing to match original building plinth
- BEAMS**
Openings in Deli walls to have reinforced concrete lintels with min 4 courses brickforce over and clad with sandstone block
- SLABS**
Rib and block reinforced concrete slab to deck extension with pigmented screed or quarry tile finish
New slabs laid as per manufacturers/ Engineers specification
- WINDOWS**
Joinery as per 'Swarthland Status' catalog, or custom made to Owner's specification
- DOORS**
Oregon pine doors and frames to match existing
New external doors as per 'Swarthland Status' catalog
- ROOF**
New 'Colorbond' roof sheets to toilet extension on 75 x 50 purlins on 114 x 38 rafters on 114 x 38 wall plate tied down to brickwork with hoop iron strips built min 5 courses into brickwork roof pitch approx. 9 degrees
- CEILINGS**
Underside of rib and block slabs to be plastered and painted or skimmed with Creststone and sealed
Suspended gypsum plasterboard ceiling to new toilets
- GLAZING**
Doors and windows in excess of 1m2 or less than 300mm above floor level to be safety glazed in accordance with National Building regulations Part N
- RAINWATER**
New slabs laid to falls and all rainwater led to existing SWCs
- SEWERAGE**
As shown on plan. All defunct sewers to be removed. Sewer passing under deck extension to be encased in concrete or re-positioned. To be determined on site

COVERAGE

Erf 2454 site area	8569 m2
Erf 325 site area	820 m2
Existing hotel ground floor	590 m2
Toilet addition	11 m2
Existing hotel top floor	270 m2
Existing covered deck / lounge	142 m2
Existing basement	103 m2
Basement 'Deli' extension	47 m2
existing outbuildings	550 m2

HERITAGE RESOURCES SECTION
URBAN CONSERVATION UNIT
NO OBJECTION
THE HERITAGE HAS NO AUTHORITY IN RESPECT OF ANY APPROVALS REQUIRED BY OTHER BODIES
08 12 2003

PLAN APPROVED
DATE: 20/12/03
Megan Andersen
Hollenbold

Simon's Tech
31/10/2003

GLENCAIRN ROAD

GLENCAIRN HOTEL
NEW DECK, BASEMENT DELI AND TOILETS
DESIGN: Paul Jaques BArch (UCT)
DATE: 24 October 2003
SCALE: 1: 250
DRAWING: SRH/1/03
OWNER: Hollenbold
MERCHANT INVESTORS (PTY)LTD

SITE PLAN 1 : 200

SPECIFICATION

GENERAL
All work to comply with SABS 0400

FOUNDATIONS
Concrete strip footings min. 650mm x 230mm
min. 400mm below NGL
Deli extension footings min. 950mm x 230mm
min. 400mm below NGL

FLOOR
Existing slabs to be broken up and excavated to clean, well compacted fill
15MPa concrete min. 100mm thick on 250 micron DPC on well compacted sand blinding layer

WALLS
Walls to be 230mm clay brickwork keyed into existing with brickforce every 10th course
Brickwork to Deli basement walls to be clad with 200mm sandstone blocks with raised pointing to match original building plinth

BEAMS
Openings in Deli walls: to have reinforced concrete lintols with min 4 courses brickforce over and clad with sandstone blocks

SLABS
Rib and block reinforced concrete slab to deck extension with pigmented screed or quarry tile finish
New slabs laid as per manufacturers/ Engineers specification

WINDOWS
Joinery as per 'Swartland Status' catalog, or custom made to Owner's specification

DOORS
Oregon pine doors and frames to match existing
New external doors as per 'Swartland Status' catalog

ROOF
New 'Colorbond' roof sheets to toilet extension on 75 x 50 purlins on 114 x 38 rafters on 114 x 38 wall plate tied down to brickwork with hoop iron straps built min 5 courses into brickwork roof pitch approx. 9 degrees

CIELINGS
Underside of rib and block slabs to be plastered and painted or skimmed with Cretstone and sealed
Suspended gypsum plasterboard ceiling to new toilets

GLAZING
Doors and windows in excess of 1m² or less than 300mm above floor level to be safety glazed in accordance with National Building regulations Part N

RAINWATER
New slabs laid to falls and all rainwater led to existing SWC's

SEWERAGE
As shown on plan. All defunct sewers to be removed. Sewer passing under deck extension to be encased in concrete or re-positioned. To be determined on site

COVERAGE

Erf 2454 site area	8569 m ²
Erf 325 site area	820 m ²
Existing hotel ground floor	590 m ²
Toilet addition	11 m ²
Existing hotel top floor	270 m ²
Existing covered deck / lounge	142 m ²
Existing basement	103 m ²
Basement 'Deli' extension	47 m ²
existing outbuildings	550 m ²

HERITAGE RESOURCES SECTION
URBAN CONSERVATION UNIT
NO OBJECTION
THE ISSUING HAS NO AUTHORITY IN RESPECT OF ANY APPROVALS REQUIRED BY OTHER BODIES
05.12.2003.

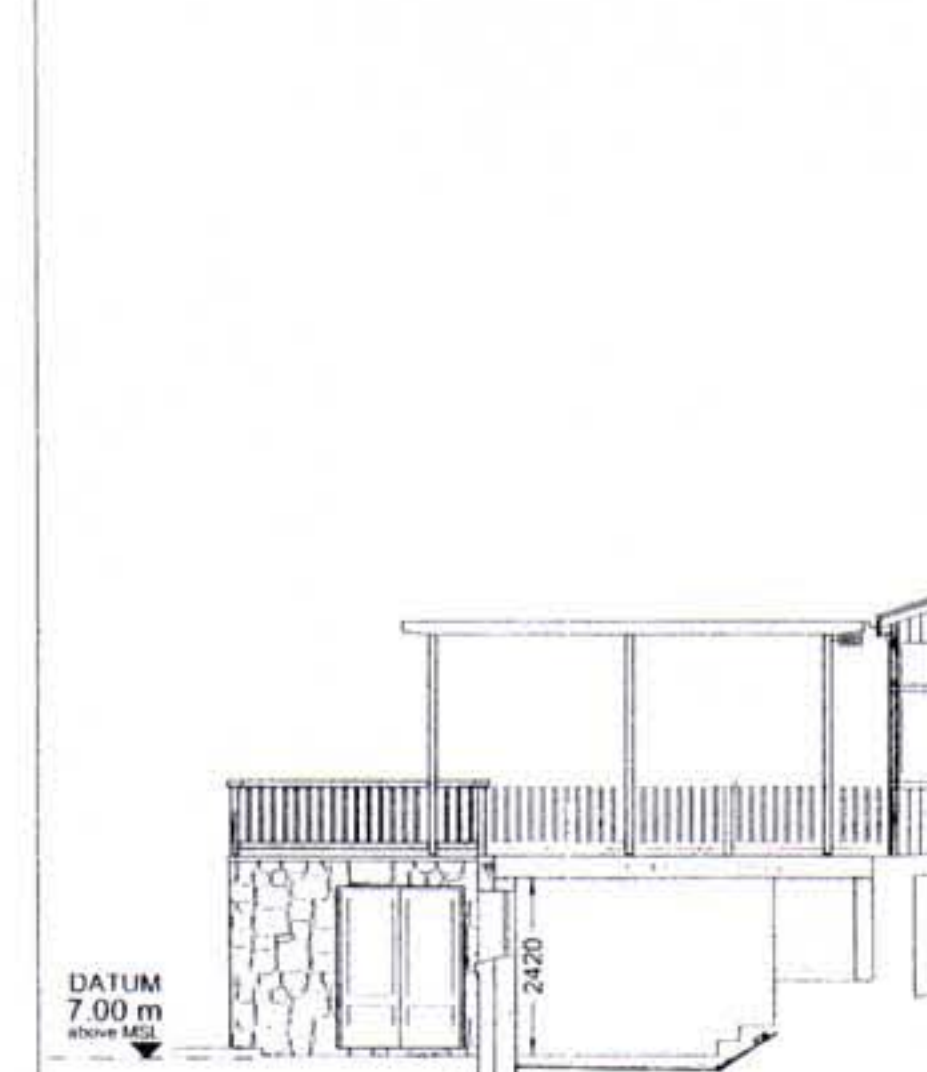
PLANNING APPROVED
DATE: 2003.12.16

Simon's Team
27/10/2003

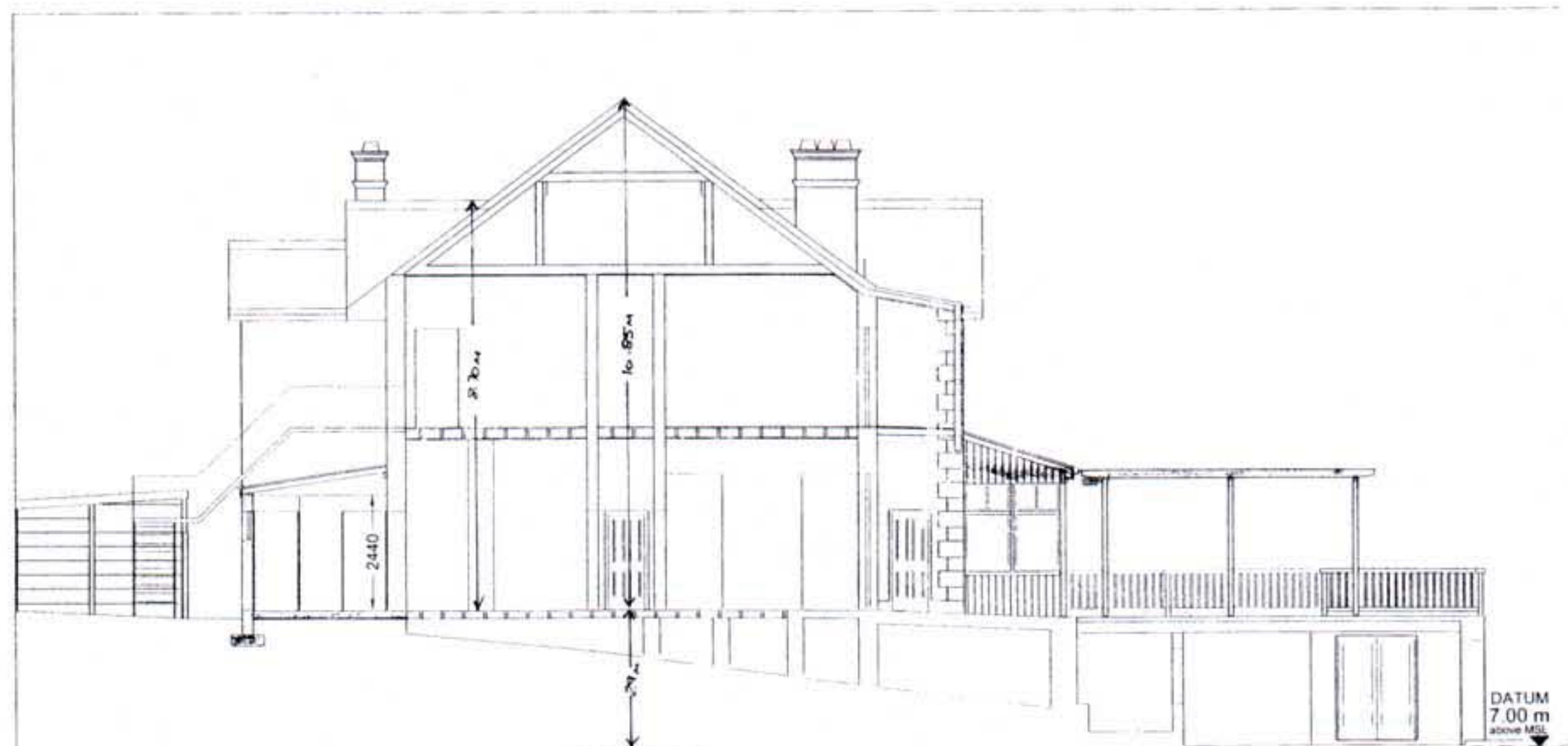
GLENCAIRN HOTEL
NEW DECK, BASEMENT DELI AND TOILETS
DESIGN: Paul Jaques BArch (UCT)
DATE: 24 October 2003
SCALE: 1: 100
DRAWING: SRH 3/03
OWNER: Merchant Investors (PTY)LTD



FRONT (NORTH) ELEVATION



SECTION C - C



SECTION A - A



SECTION B - B (EAST ELEVATION)



WEST ELEVATION



BACK (SOUTH) ELEVATION

SECTIONS & ELEVATIONS 1 : 100

SPECIFICATION

GENERAL
 All work to comply with SABS 0400
 FOUNDATIONS
 Concrete strip footings min. 650mm x 230mm min. 400mm below NGL
 Deli extension footings min. 950mm x 230mm min. 400mm below NGL

FLOOR
 Existing slabs to be broken up and excavated to clean, well compacted fill
 15MPa concrete min. 100mm thick on 250 micron DPC on well compacted sand blinding layer
 KITCHEN FLOORS TO HAVE CERAMIC TILE & EPOXY GROUT WALLS
 Walls to be 230mm clay brickwork keyed into existing with brickforce every 10th course
 Brickwork to Deli basement walls to be clad with 200mm sandstone blocks with raised pointing to match original building plinth
 DELI WALLS TO HAVE CERAMIC TILE FULL HEIGHT TO BE PAINTED & FINISHED WITH LIGHT-BEAMS CONCEALED, WASHABLE, LEAD-FREE PAINT
 Openings in Deli walls to have reinforced concrete lintels with min 4 courses brickforce over and clad with sandstone blocks

SLABS
 Rib and block reinforced concrete slab to deck extension with pigmented screed or quarry tile finish
 New slabs laid as per manufacturers/ Engineers specification

WINDOWS
 Joinery as per 'Swartland Status' catalog, or custom made to Owner's specification

DOORS
 Oregon pine doors and frames to match existing
 New external doors as per 'Swartland Status' catalog

ROOF
 New 'Colorbond' roof sheets to toilet extension on 75 x 50 purlins on 114 x 38 rafters on 114 x 38 wall plate tied down to brickwork with hoop iron straps built min 5 courses into brickwork roof pitch approx. 9 degrees

CIELINGS
 Underside of rib and block slabs to be plastered and painted or skimmed with Crestone and sealed
 Suspended gypsum plasterboard ceiling to new toilets

GLAZING
 Doors and windows in excess of 1m2 or less than 300mm above floor level to be safety glazed in accordance with National Building regulations Part N

RAINWATER
 New slabs laid to falls and all rainwater led to existing SWC's

SEWERAGE
 As shown on plan. All defunct sewers to be removed. Sewer passing under deck extension to be encased in concrete or re-positioned. To be determined on site
 CONSTANT BALANCED HOT & COLD WATER SUPPLY TO ALL SINKS IN KITCHEN & DELI
 ALL PIPES & CABLES TO BE EMBEDDED IN WALLS

COVERAGES

Erf 2454 site area	8569 m2
Erf 325 site area	820 m2
Existing hotel ground floor	590 m2
Toilet addition	11 m2
Existing hotel top floor	270 m2
Existing covered deck / lounge	142 m2
Existing basement	103 m2
Basement 'Deli' extension	47 m2
existing outbuildings	550 m2

NOTES:

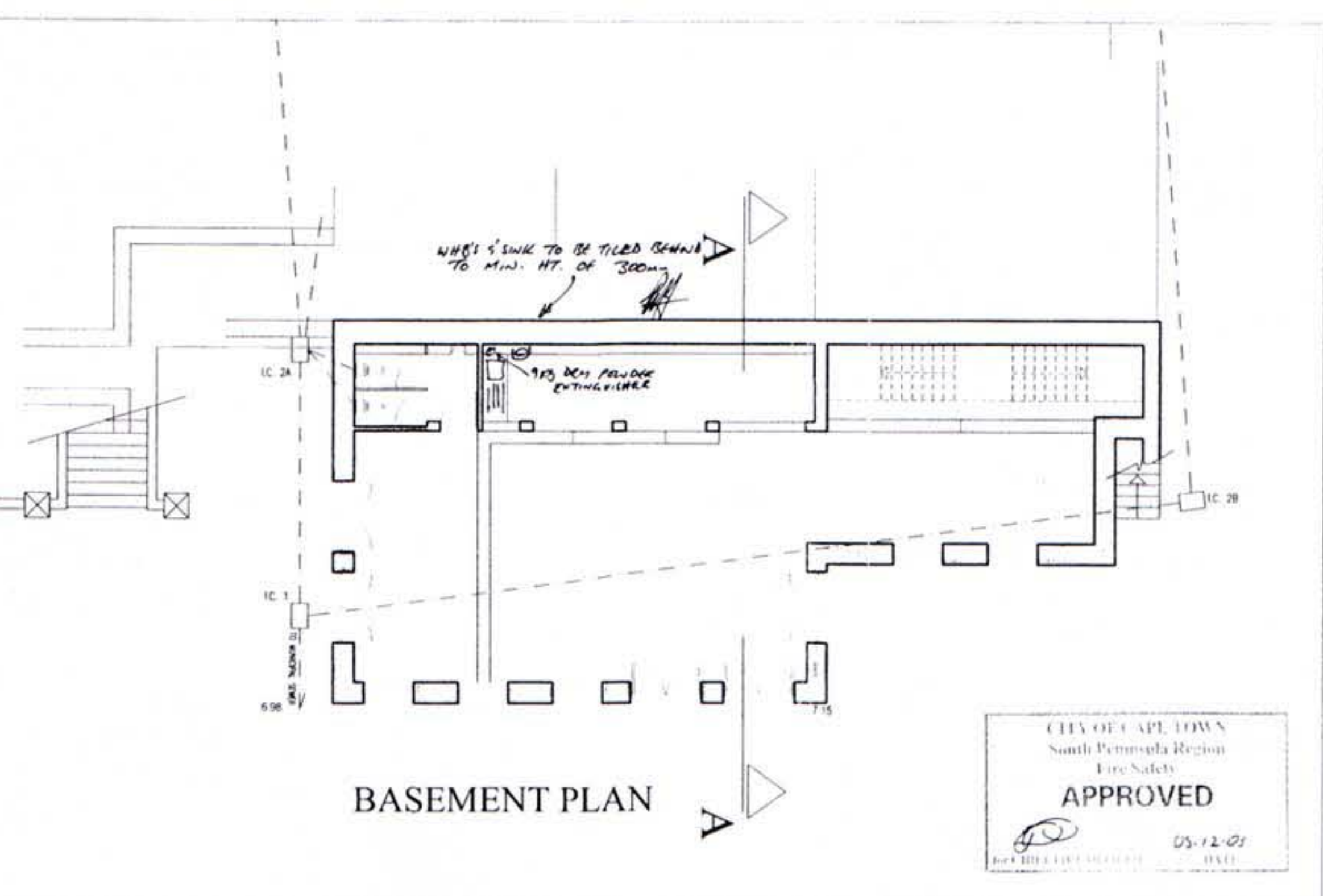
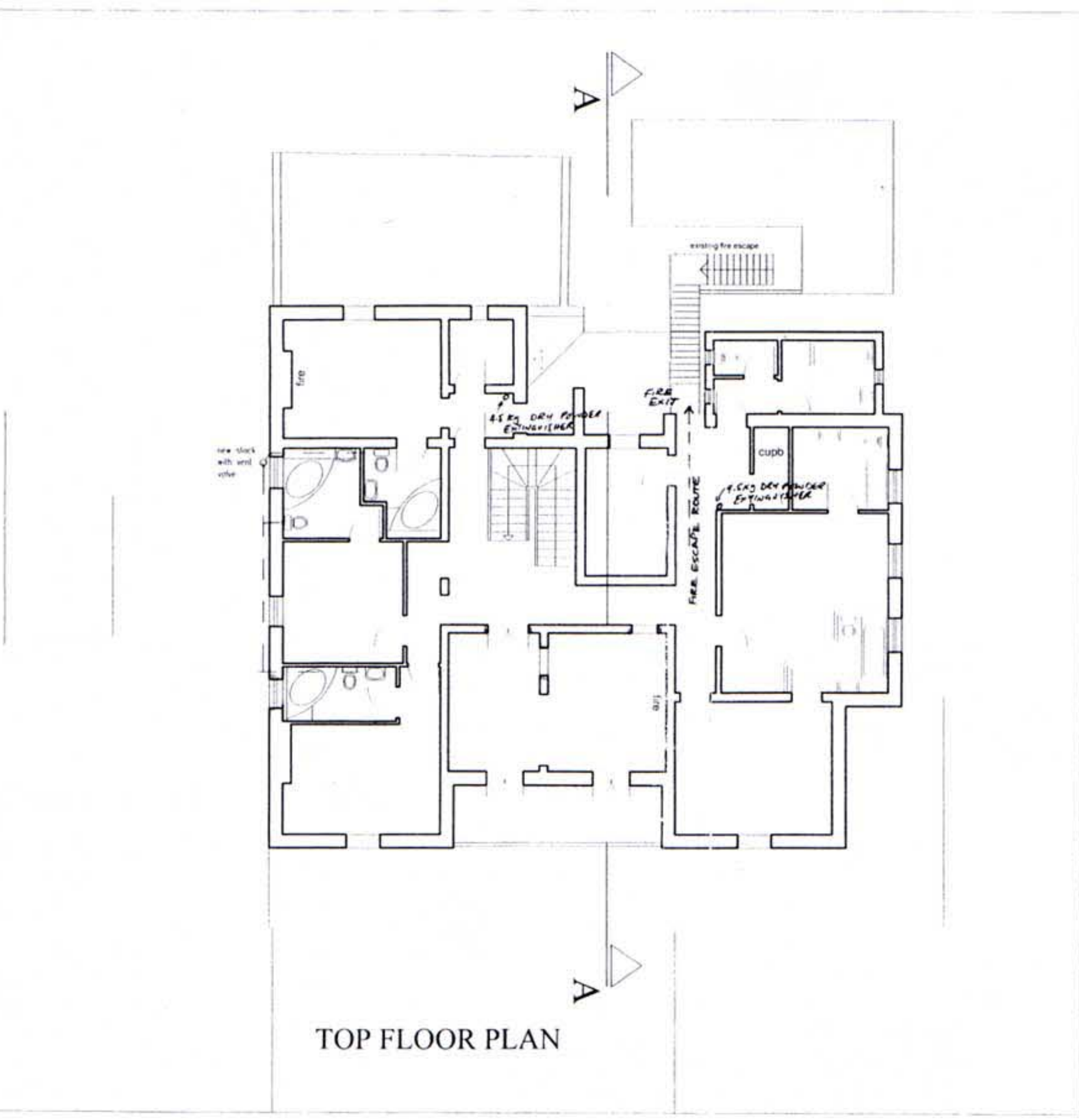
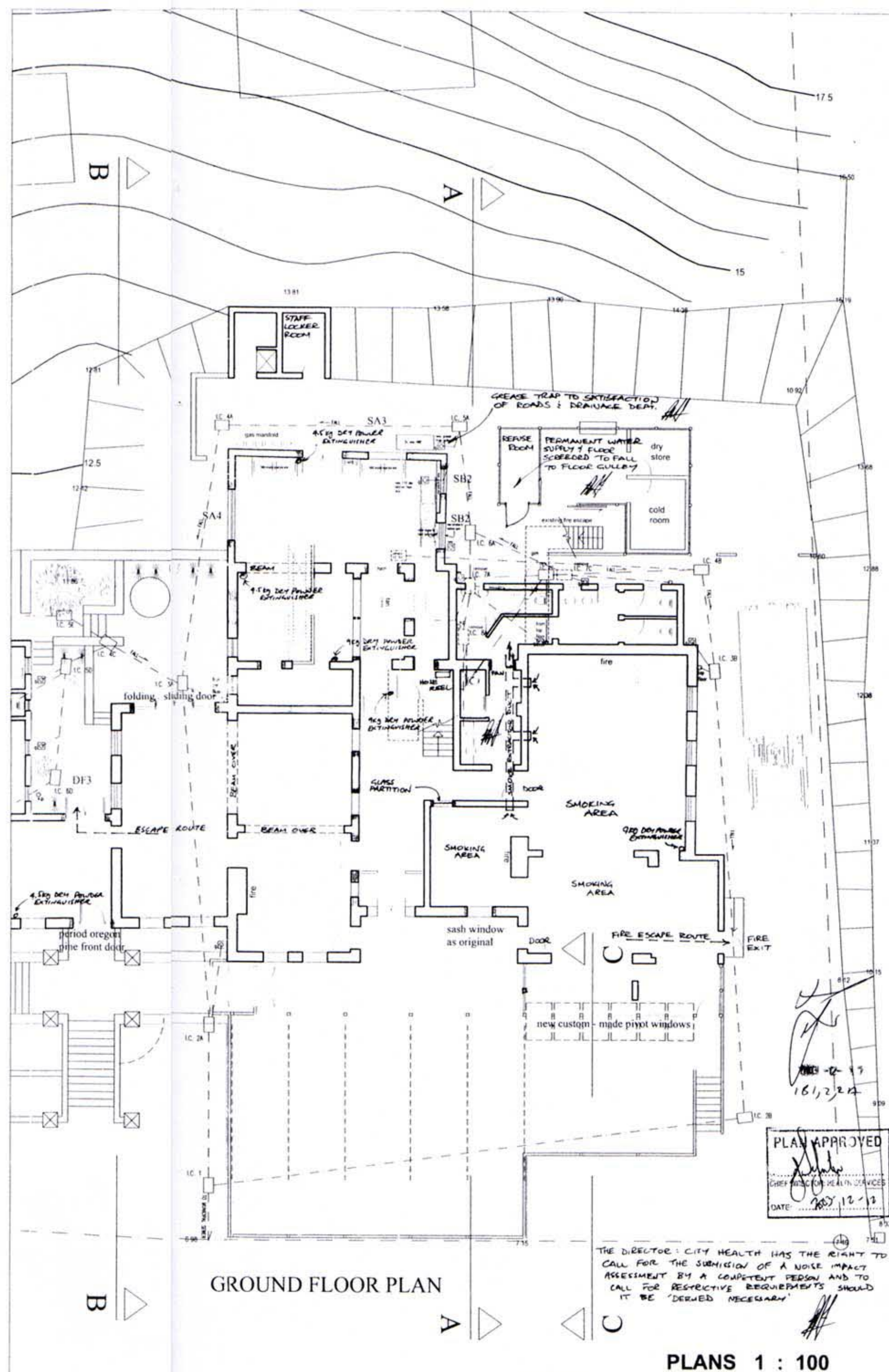
- ALL NOISE PRODUCING EQUIPMENT TO BE ADEQUATELY MUFFLED
- NEW CIELINGS TO BE PAINTED WITH LIGHT-COLORED WASHABLE PAINT
- INTERNAL TOILETS & BATHROOMS TO HAVE EXTRACT FAN (MIN 20L/S) COUPLER TO THE LIGHT SWITCH & VENTED TO THE OUTSIDE
- SMOKING AREA TO HAVE SIGNAGE AS PER REGULATIONS.

Simon's Tech
 959
 31/10/2003

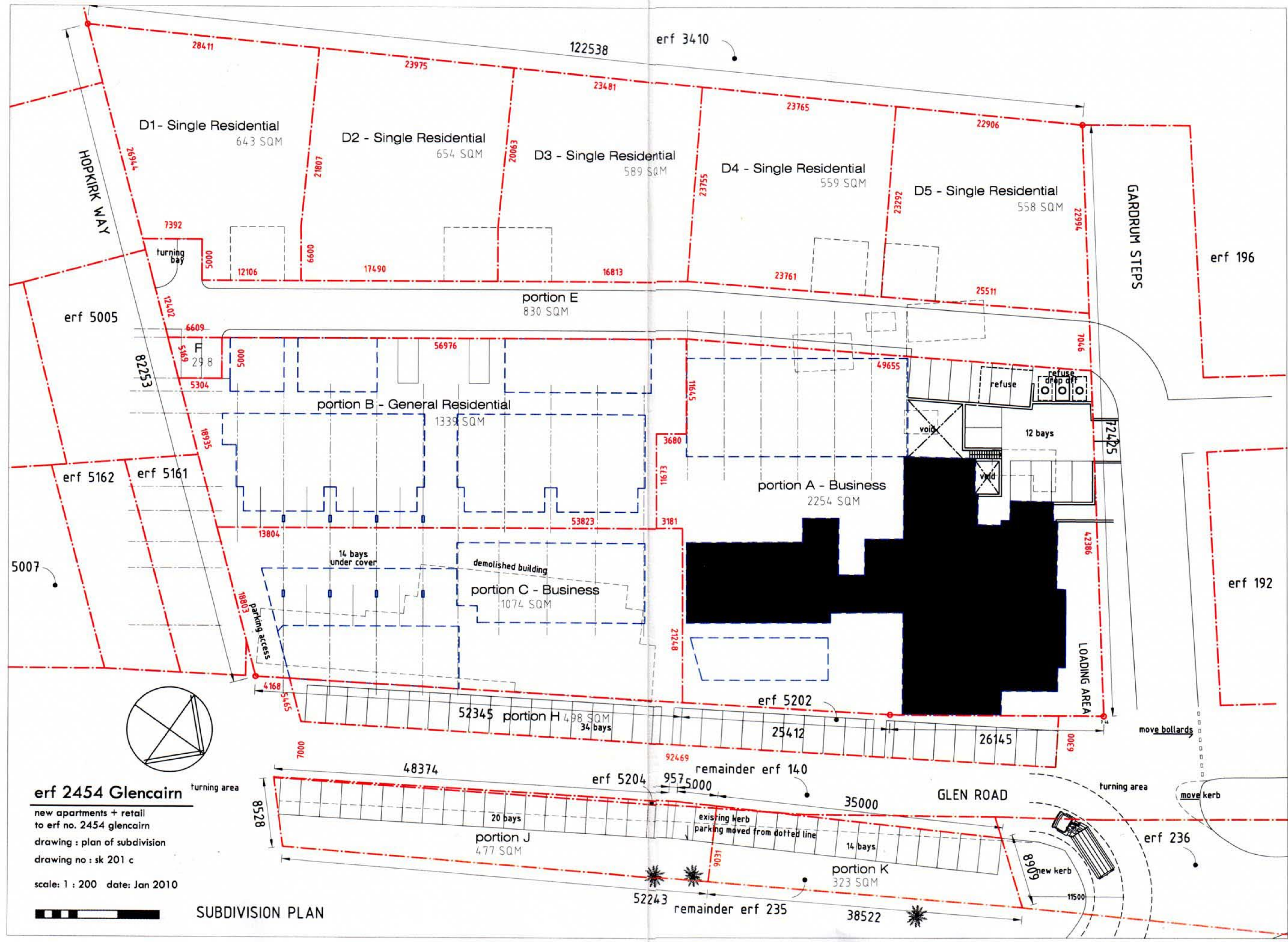
PLAN APPROVED
 SHEPHERDSON HEALTH SERVICES
 DATE: 2003-12-12

THE DIRECTOR: CITY HEALTH HAS THE RIGHT TO CALL FOR THE SUBMISSION OF A NOISE IMPACT ASSESSMENT BY A COMPETENT PERSON AND TO CALL FOR RESTRICTIVE REQUIREMENTS SHOULD IT BE DEEMED NECESSARY

GLENCAIRN HOTEL
 NEW DECK, BASEMENT DELI AND TOILETS
 DESIGN: Paul Jaques BArch (UCT)
 DATE: 24 October 2003
 SCALE: 1:100
 DRAWING: SRH 2/08
 OWNER: Hollenboel
MERCHANT INVESTORS (PTY)LTD
 HERITAGE RESOURCES SECTION
 URBAN CONSERVATION UNIT
NO OBJECTION
 THE HERITAGE HAS NO AUTHORITY IN RESPECT OF THIS PROPOSAL IF IT IS NOT MADE BY OTHER BODIES

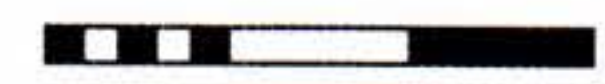


PLANS 1 : 100



erf 2454 Glencairn

new apartments + retail
 to erf no. 2454 glencairn
 drawing : plan of subdivision
 drawing no : sk 201 c
 scale: 1 : 200 date: Jan 2010



SUBDIVISION PLAN